



CITY OF ST. PETERSBURG, FLORIDA  
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

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## STAFF REPORT

### Community Planning and Preservation Commission Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, October 12, 2021, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at [www.stpete.org/meetings](http://www.stpete.org/meetings).

*According to Planning and Development Services Department records, no member of the Community Planning and Preservation Commission resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.*

<b>Case No.:</b>	<b>21-90200101</b>
Address:	2660 Dartmouth Ave. N.
Legal Description:	HALL'S CENTRAL AVE NO. 1 BLK 5, LOT 8
Parcel ID No.:	23-31-16-35082-005-0080
Date of Construction:	1939
Local Landmark:	Kenwood Section – Southwest Central Kenwood Local Historic District (19-90300002)
Owner:	Amy C. Durand
Request:	Review of a Certificate of Appropriateness for replacement of the shingle roof of a detached garage with metal at 2660 Dartmouth Ave. N., a contributing property to a local historic district

## Historical Context and Significance



**Figure 1: Staff photograph of primary residence at subject property**

The house and detached two-car garage at 2660 Dartmouth Ave. N. ("the subject property") were permitted for construction in 1939 and completed in 1940. The primary residence, like most homes built in Kenwood during the Great Depression, features characteristics typical to the architectural style now termed Minimal Traditional including a moderately-pitched roof with minimal overhang and a cross gabled form. An arched portico with simple round columns replaces the broad front porch generally present in the Craftsman bungalows that defined construction in Kenwood during the preceding 1920s land boom. Its simple and slightly whimsical design contribute to both the architectural palette and the depiction of 20<sup>th</sup> century domestic and social history embodied by Historic Kenwood.



Figure 2: Home as it appeared when constructed. Note the fish scale pattern of the original shingles. Published in the St. Petersburg Times, February 11, 1940.

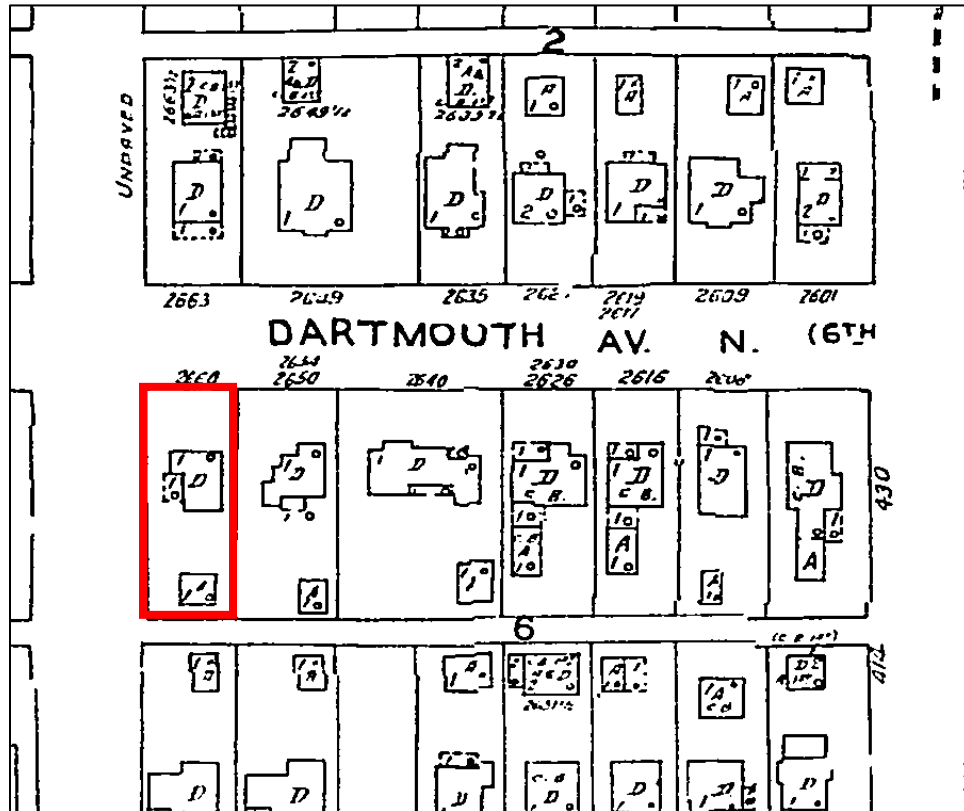


Figure 3: 1952 Sanborn Map of St. Petersburg, Sheet 252, showing subject property.

## Project Description and Review

### Project Description

This COA application (Appendix A) proposes alteration to the detached garage by replacing the existing shingle roof at the garage, which appears to be the original fish scale asbestos cladding, with 24-gauge Galvaline standing seam metal roofing.

Both the primary residence and detached garage were historically clad in shingles. The fish scale asbestos shingles on the primary residence were replaced with contemporary three-tab composition shingles prior to the 1994 survey of the Kenwood area that included documentation of the subject property.

A building permit for the replacement of the roof at the primary residence was approved online May 23, 2018 as BP 18-05001692. The local historic district containing the subject property, Kenwood Section – Southwest Central Kenwood Local Historic District, was not yet designated as a local historic district at that time. As such, no Certificate of Appropriateness was required.

Within the online application procedure for a residential roof permit, an applicant is required to agree that the roof will be replaced with like material. As shown in Appendix B, this was noted in the approval notes provided at the time of permit issuance. A residential roof replacement in Neighborhood Traditional (NT) including a change in materials is required to receive Zoning approval to ensure it complies with City Code Section 16.20.010.11 (Appendix C), which states that "detached accessory structures, such as garages and garage apartments, shall be consistent with the architectural style, materials, and color of the principal structure." The application was not represented as one that included a change of material, and no Zoning review was performed. The installation of the metal roof at that time therefore created a noncompliant situation on the property in which the primary residence and accessory building feature different roofing materials.



**Figure 4: Primary residence at subject property, as shown in March 2015 Google Street View image, with composition shingle roofing**



**Figure 5: Staff photograph of detached garage with primary residence visible in background**

The COA application being reviewed herein involves a proposal that would remedy the presence of the mismatched roof materials by replacing the shingles at the detached garage with similar metal to that which is installed on the primary residence.

However, St. Petersburg's Design Guidelines for Historic Properties notes that appropriate Minimal Traditional roof materials include wood, asphalt, and composition shingles. Standing seam metal roofing has consistently been determined by the Community Planning and Preservation Commission to be incompatible with the Minimal Traditional style in particular, and more broadly with buildings constructed during the Depression and World War II.

#### General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

**Inconsistent**

Because the subject property occupies a corner lot, the proposed metal roof would be publicly visible from elsewhere in the district and would alter the subject property's appearance by adding to the existence of the primary residence's glossy metal roof material with vertical texture where the surface was historically roughly textured and featured shingles.

This material is aesthetically out of keeping with the building's character, and also historically incompatible, as metal would not have been used for such a non-essential application during the buildup to America's entrance into World War II.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

**Partially consistent**

Staff does understand that the property owner's motivation for proposing a metal roof at the garage is to create consistency with the existing metal roof at

the primary residence. However, the existing condition of mis-matched roof materials is the result of the 2018 Building Permit application referenced above, which misrepresented the proposal when the contractor or applicant agreed to the condition that the roof replacement would not include a change of material (Appendix B).

This is an existing condition that is only somewhat relevant to the COA process, since the permit for the metal roof at the primary residence was approved prior to the designation of the subject district and therefore did not involve the staff of the Urban Planning and Historic Preservation Office in any way.

However, staff cautions against increasing the presence of an inappropriate building material at the subject property for the sake of matching a material that was introduced through an erroneous approval in the recent past.

The use of a light grey color may mitigate the visual impact of the mismatched materials.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

**Inconsistent** As noted above, the proposal would alter the materials and texture of the accessory garage building. The subject property's historic integrity would be negatively impacted.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

**Inconsistent** The application (Appendix A) included photographs showing the deteriorated condition of the existing shingle roof at the garage. Staff recommends replacing the roof cladding with composition shingles.

5. *Whether the plans may be reasonably carried out by the applicant.*

**Consistent** There is no indication that the applicant cannot carry out the proposal.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

**Not applicable** The subject property is listed as a contributing property.

#### Additional Guidelines for Alterations

1. *A local landmark should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

**Consistent** The subject property is, and will continue to be, a single-family residence. The detached garage will remain in its original use.

2. *The distinguishing historic qualities or character of a building, structure, or site and its environment shall be preserved. The removal or alteration of any historic material or distinctive architectural features shall be avoided when reasonable.*

**Inconsistent**

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings without sufficient documentary evidence, shall not be undertaken.*

**Inconsistent** Homes built between the beginning of the Depression and World War II did not commonly feature metal roofs.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved, as appropriate.*

**Not applicable**

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

**Inconsistent**

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, texture, and other visual qualities and, where reasonable, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

**Inconsistent** Replacing the roof in kind with asphalt shingles would be a more appropriate alternative to the proposed metal.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

**Consistent** No harsh treatments have been proposed or observed.

8. *Significant archaeological resources affected by a project shall be protected and preserved if designated pursuant to this section. If such resources must be disturbed, mitigation measures shall be undertaken.*

**Not applicable** The subject property is not located within a known archaeological sensitivity area.

### Summary of Findings

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 2 of 5 criteria satisfied or partially satisfied.
- Additional Guidelines for Alterations: 2 of 6 relevant criteria satisfied or partially satisfied.

### Staff Recommendation and Conditions of Approval

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **deny** the Certificate of Appropriateness request as submitted for the alteration of the property at 2660 Dartmouth Ave. N.

If the property owner is willing to accept approval with the condition that the proposed roof material be changed to a more appropriate composition shingle and the Commission votes to **approve** the application, staff then recommends the following conditions of approval be applied:

1. The garage roof will be clad in composition shingle.
2. A historic preservation final inspection will be scheduled upon completion.
3. All necessary permits will be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
4. This approval is to be valid for 24 months following approval, for an expiration date of October 12, 2023.



# Appendix A:

Application No. 21-90200101



# CERTIFICATE OF APPROPRIATENESS

## APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

### GENERAL INFORMATION

2660 Dartmouth Ave. N., St. Pete, 33713

Property Address

Parcel Identification No.

Kenwood

Historic District / Landmark Name

Corresponding Permit Nos.

Amy Durand

727-992-2077

Owner's Name

Property Owner's Daytime Phone No.

same

iamamydurand@gmail.com

Owner's Address, City, State, Zip Code

Owner's Email

Authorized Representative (Name & Title), if applicable

Representative's Daytime Phone No.

Representative's Address, City, State, Zip Code

Representative's Email

#### APPLICATION TYPE (Check applicable)

<input type="checkbox"/>	Addition	<input type="checkbox"/>	Window Replacement
<input type="checkbox"/>	New Construction	<input type="checkbox"/>	Door Replacement
<input type="checkbox"/>	Demolition	<input checked="" type="checkbox"/>	Roof Replacement
<input type="checkbox"/>	Relocation	<input type="checkbox"/>	Mechanical (e.g. solar)
<input type="checkbox"/>	Other:		

#### TYPE OF WORK (Check applicable)

<input type="checkbox"/>	Repair Only
<input type="checkbox"/>	In-Kind Replacement
<input type="checkbox"/>	New Installation
<input checked="" type="checkbox"/>	Other: new material - metal

### AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES:**
- 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
  - 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner:

Amy Durand

Date:

8/13/21

Signature of Representative:

Date:



# CERTIFICATE OF APPROPRIATENESS

**APPLICATION**

**COA #**

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department by emailing directly to Historic Preservationists Laura Duvekot ([Laura.Duvekot@stpete.org](mailto:Laura.Duvekot@stpete.org)) or Kelly Perkins ([Kelly.Perkins@stpete.org](mailto:Kelly.Perkins@stpete.org)).

## PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

Building or Site Feature	Photo No.	Proposed Work
garage roof		remove asbestos shingles and replace with metal roof to match the house

PARCEL NO: 23/31/16/35082/005/0080  
SITE ADDRESS: 2660 DARTMOUTH AVE N  
PLAT: 3 PAGE 39  
LEGAL:  
HALL'S CENTRAL AVE NO. 1  
BLK 5, LOT 8

NOTICE







**From:** [Amy Durand](#)  
**Sent:** Monday, August 16, 2021 1:02 PM  
**To:** [Laura Duvekot](#)  
**Subject:** description of roof replacement - 2660 Dartmouth Ave. N

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**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Laura,

This is the description I received from Diane Portelli at Quality Home Renovators regarding the roof replacement:

- Removal of existing roof shingles
- Installation of high temperature underlayment
- Install metal galvaline standing seam roof to match house, 24 gauge, hidden fasteners

I hope this is sufficient. If not, please let me know what else you were expecting.

Thanks,  
Amy Durand



# Appendix B:

Notes from Online Permit Issuance BP 18-05001692

Code	Freeform information	Date	Print flag	Permit display
ONLI	T/O SHINGLE ROOF, RE-NAIL DECK TO CODE,	5/23/2018		
ONLI	DRY IN W/ GAF STORM GUARD (FL10626),	5/23/2018		
ONLI	INSTALL GULF COAST GULFLOK METAL ROOF	5/23/2018		
ONLI	PANELS (FL11651.9). 22 SQ., 8/12; 11/12	5/23/2018		
ONLI	PITCH, 1 STORY	5/23/2018		
BNOT	YOU HAVE APPLIED FOR AN ONLINE	5/23/2018 Y		Y
BNOT	RESIDENTIAL ROOF REPLACEMENT PERMIT.THIS	5/23/2018 Y		Y
BNOT	PERMIT DOES NOT INCLUDE ANY OTHER	5/23/2018 Y		Y
BNOT	TRADES. THIS PERMIT IS FOR THE	5/23/2018 Y		Y
BNOT	REPLACEMENT OF ROOF MATERIALS AND	5/23/2018 Y		Y
BNOT	MINIMUM REPAIRS OF EXISTING DAMAGED	5/23/2018 Y		Y
BNOT	UNDERLAYMENT AND FASCIA	5/23/2018 Y		Y
BNOT	MATERIALS. A SEPARATE PERMIT AND	5/23/2018 Y		Y
BNOT	APPROVAL BY THE ZONING DEPARTMENT AND A	5/23/2018 Y		Y
BNOT	BUILDING PLANS EXAMINER IS REQUIRED FOR	5/23/2018 Y		Y
BNOT	ALTERATIONS TO THE EXTERIOR FEATURES OF	5/23/2018 Y		Y
BNOT	A STRUCTURE.	5/23/2018 Y		Y
BNOT		5/23/2018 Y		Y
BNOT	ANY CHANGE TO ROOF MATERIALS REQUIRES	5/23/2018 Y		Y
BNOT	ZONING APPROVAL. CITY CODE REQUIRES ALL	5/23/2018 Y		Y
BNOT	STRUCTURES ON A PROPERTY TO HAVE SIMILAR	5/23/2018 Y		Y
BNOT	ROOF MATERIALS (SECTIONS 16.20.010	5/23/2018 Y		Y
BNOT	THROUGH 16.20.150, BUILDING DESIGN).	5/23/2018 Y		Y
BNOT	FOR ADDITIONAL INFORMATION ON THIS	5/23/2018 Y		Y
BNOT	REQUIREMENT PLEASE CONTACT	5/23/2018 Y		Y
BNOT	DEVREV@STPETE.ORG	5/23/2018 Y		Y
BNOT		5/23/2018 Y		Y
BNOT	EFFECTIVE APRIL 9, 2015 RETRO FASTENING	5/23/2018 Y		Y
BNOT	AND WATER BARRIER INSPECTION AFFIDAVITS	5/23/2018 Y		Y
BNOT	ARE NO LONGER REQUIRED TO BE ON SITE FOR	5/23/2018 Y		Y
BNOT	THE INSPECTOR AND THE CITY OF	5/23/2018 Y		Y
BNOT	STPETERSBURG WILL NO LONGER ACCEPT	5/23/2018 Y		Y
BNOT	COPIES AT OUR OFFICES. CONTRACTOR SHALL	5/23/2018 Y		Y
BNOT	PROVIDE PROPERTY OWNER WITH A COPY AND	5/23/2018 Y		Y
BNOT	ALSO RETAIN A COPY.NOTICE OF	5/23/2018 Y		Y
BNOT	COMMENCEMENT WHEN APPLICABLE MUST BE ON	5/23/2018 Y		Y
BNOT	SITE ALSO.	5/23/2018 Y		Y



# Appendix C:

*Building and Site Design*

City Code Section 16.20.010.11

### 16.20.010.11. - Building and site design.

The following design criteria allow the property owner and design professional to choose their preferred architectural style, building form, scale and massing, while creating a framework for good urban design practices which create a positive experience for the pedestrian.

*Site layout and orientation.* The City is committed to creating and preserving a network of linkages for pedestrians. Consequently, pedestrian and vehicle connections between public rights-of-way and private property are subject to a hierarchy of transportation, which begins with the pedestrian.

*Building layout and orientation.*

1. For nonresidential uses, all service areas and loading docks shall be located behind the front façade line of the principal structure.
2. All mechanical equipment and utility functions (e.g. electrical conduits, meters and HVAC equipment) shall be located behind the front façade line of the principal structure. Mechanical equipment that is visible from the primary street shall be screened with a material that is compatible with the architecture of the principal structure.
3. Accessory structures (including sheds) shall be located behind the front façade of the principal structure.

*Vehicle connections and parking.*

1. The following vehicle connection regulations are required for properties located within NT-2, NT-3 or NT-4 and are recommended for properties located within NT-1. Access for new garages and driveways shall be designed to take advantage of the first available alternative in the following prioritized list:
  - a. Driveways and garage doors shall face the alley;
  - b. Where no alley exists, driveways and garage doors shall face the side street and shall be restricted to the rear one-third of the lot;
  - c. Where access via the rear third of the lot is not possible and/or the alley is unable to be traversed with a vehicle due to physical obstructions or barriers, driveways and garage doors shall be permitted within the front two-thirds of the lot facing the side street;
  - d. In the absence of an alley and a side street, a single lane width curb cut and driveway shall be allowed which shall be located to the side of the principal structure. Required parking shall be allowed only behind the front façade line of the principal structure, including the porch, if any.
2. When a driveway is allowed in the front yard, not more than one curb cut shall be allowed

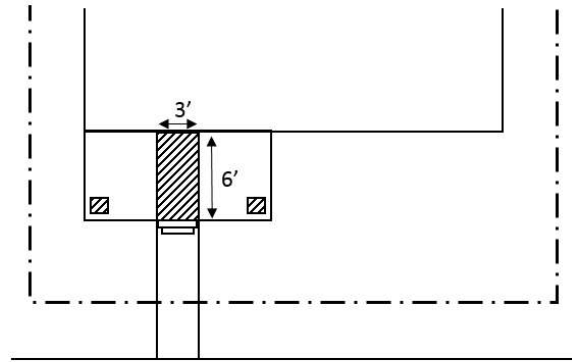
for each property except as follows:


- a. Where the property is abutting a major street identified on the Future Major Streets Map within the Comprehensive Plan; and
- b. Where in accordance with the access requirements of this section, the only available access point is from the major street; and
- c. Where a circular driveway and second curb cut is necessary to permit vehicles to enter and exit the major street in a forward motion. Pursuant to this section, a second curb cut shall only be approved for the purpose of improved traffic safety and shall not be approved for other ancillary uses, such as access to accessory parking spaces or the maneuvering of domestic equipment.

*Porches and pedestrian connections.*

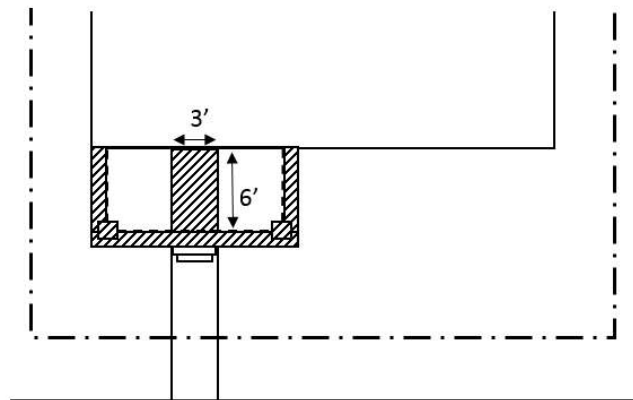
1. Principal entries to a structure shall be connected to the public sidewalk and the curb of the primary street with a sidewalk except when the structure faces a major street which does not allow on-street parking in front of the property.
2. Where a driveway exists in the legal front yard, the required sidewalk from the principal entry may be connected to the driveway in lieu of the connection to the street.
3. Principal entries shall include a porch, portico or stoop, with a minimum usable depth of six feet (measured from the front façade of the structure to the interior side of the railing or, if there is no railing, the furthest edge of the floor) and 48 square feet of total floor area, excluding a three-foot wide walkway to the primary entrance and the floor area of any column. Where a railing exists, only the floor area within the interior side of the railing shall count towards the minimum floor area.
4. Existing public sidewalks shall be repaired to City standards. Where no public sidewalk exists, a public sidewalk shall be constructed in accordance with the requirements of the subdivision section.


**Porch Dimension Requirement:  
Example without Railing**



 This area excluded from the minimum floor area requirement of 48 sq ft

**Porch Dimension Requirement:  
Example with Railing**



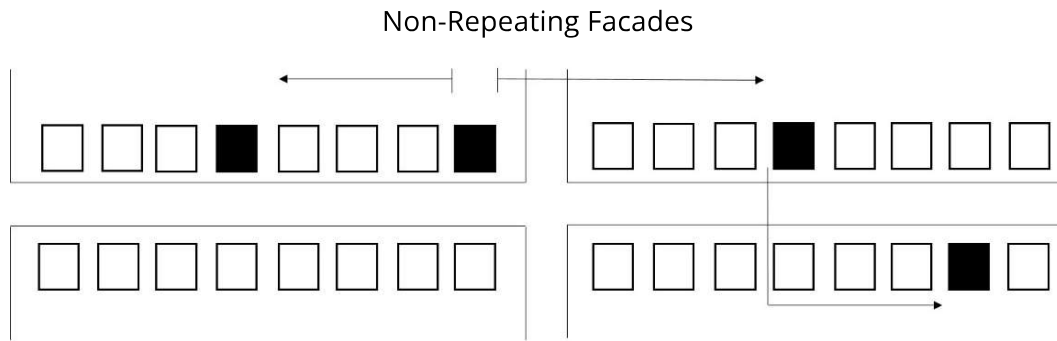
 This area excluded from the minimum floor area requirement of 48 sq ft

*Building and architectural design standards.* All buildings should present an inviting, human scale façade to the streets, internal drives, parking areas and surrounding neighborhoods. The architectural elements of a building should give it character, richness and visual interest.

*Building style.*

1. New construction shall utilize an identifiable architectural style which is recognized by design professionals as having a basis in academic architectural design philosophies. See architectural and building design section, currently Section 16.40.020.
2. Design of homes on the same block face on either side of the street or within an adjacent block face on either side of the street shall be varied, such that a substantially similar design will not be replicated. There shall be a minimum separation of three parcels in every direction before a substantially similar design can be repeated. Variation shall include at least three of the following elements: architectural style, roof form (principal or

porch), materials, architectural details (doors, windows, columns, porches).



- Renovations, additions and accessory structures shall utilize the architectural style of the existing structure, or the entire existing structure shall be modified to utilize an identifiable architectural style which is recognized by design professionals as having a basis in academic architectural design philosophies.

*Building form.*

- The front porch shall be elevated at least 12 inches above the abutting finished grade level as measured abutting the porch at the front entry. For Certified Affordable/Workforce Housing, the required minimum elevation shall be 8-inches, and the pedestrian walkway at the entrance may be graded to allow zero step entrance in accordance with the City Visitability ordinance, provided that all other areas of the porch meet the 8-inch minimum above the abutting finished grade.
- The front façade of a building shall create a width-to-height ratio of no more than 1:1. Buildings that exceed the width-to-height ratio of 1:1 shall feature architectural fenestration creating a bay system that divides the building design into a maximum ratio of 1:1. This may be done through pilasters, arcades, building line and roof line off-sets, materials and other appropriate architectural features.

*Wall composition and transparency.* Wall composition standards ensure that ground-level storefronts and multifamily and single-family residential buildings offer attractive features to the pedestrian. Wall composition standards also mitigate blank walls and ensure that all sides of a building have visual interest. Transparency enhances visual connections between activities inside and outside buildings, thereby improving pedestrian safety. The following criteria shall not apply to accessory structures.

- Doors, windows and other appropriate fenestration, architectural details, and features shall be incorporated into all sides of a building. There shall be no blank façades, except that garages located at the rear one-third of the lot may have blank façades but not on the street side. No portion of a façade shall contain a blank area greater than 16 feet in width.
- At least 30 percent of primary and secondary street façades shall consist of fenestration or



architectural details and features. At least 20 percent of the front two-thirds of interior side façades shall consist of fenestration or architectural details and features. At least ten percent of the rear façade on corner lots and through lots shall consist of fenestration or architectural details and features. At least 50 percent of the required fenestration shall be transparent (i.e., window glass). For Certified Affordable/Workforce Housing, the primary and secondary street façades minimum shall be 20 percent and the interior side yard façade minimum shall be 15 percent.

For yards on through-lots see the dimensional regulations and lot characteristics section.

3. Structures which are situated on corner lots, through lots, or, by the nature of the site layout have a façade which is clearly visible from rights-of-way, shall be designed with full architectural treatment on all sides visible from rights-of-way. Full architectural treatment shall include roof design, wall materials, trim, and door and window openings. While it is recognized that buildings have primary and secondary façades, the construction materials and detailing should be similar throughout. Windows on the street side façades shall be evenly distributed in a consistent pattern, unless a different proportion is permitted or required by an identifiable architectural.
4. Window sashes and glass shall be square or vertical, unless a different proportion is permitted or required by an identifiable architectural style.
5. Windows shall not be flush mounted. Windows recessed less than three inches shall feature architectural trim including a header, sill and side trim or decorative shutters. Windows recessed three inches or more shall feature a window sill. Trim is not required if not consistent with the architectural style, i.e. Modern or Mediterranean Revival.
6. Where the required design elevation is equal to or greater than 48 inches above finished grade, an articulated base is required to delineate the first floor level. The base may consist of a different material or decorative band, depending on the architectural style.

*Roofs.* Rooflines add visual interest to the streetscape and establish a sense of continuity between adjacent buildings. When used properly, rooflines can help distinguish between residential and commercial land uses, reduce the mass of large structures, emphasize entrances, and provide shade and shelter for pedestrians.

1. Buildings shall provide a pitched roof or a flat roof with a decorative parapet wall compatible with the architectural style of the building.

*Garages.* Garage standards maintain and enhance the attractiveness of the streetscape and are influenced by a hierarchy of transportation, which begins with the pedestrian. The requirements relating to garage doors do not apply to garage doors facing alleys.

1. Garage doors facing the primary street:
  - a. Shall be located at least ten feet behind the front façade line of the principal structure. In the NT-1, NT-2 and NT-4 districts, this distance shall be measured from the front of the front porch, if any.
  - b. Shall not exceed 40 percent of the linear frontage of the façade of the principal structure and shall have decorative garage doors. Decorative garage doors shall include raised panels with decorative hardware and/or glazing, or other designs approved by the POD which serve to visually break up a blank door.
2. Garage doors facing a non-primary side street, where adjoining side yard abuts another property's front yard:
  - a. Shall be one or two single bay garage doors. Double garage bay doors are prohibited.
  - b. Shall not exceed 40 percent of the linear frontage of the façade of the principal structure.
  - c. Shall be decorative garage doors or feature at least one of the following enhancements: an arbor system surrounding the garage doors, or a projecting balcony, cupola, or other decorative element above the garage to lessen the impact of the vehicular orientation of the house. The decorative feature proposed by the applicant shall be compatible with the principal structure and must be approved by the POD. This decision may only be appealed by the property owner.

*Building materials.* Building material standards protect neighboring properties by holding the building's value longer, thereby creating a greater resale value and stabilizing the value of neighboring properties.

1. Building materials shall be appropriate to the selected architectural style and shall be consistent throughout the structure except for one story covered patios or screen enclosures located at least ten feet behind the front façade of the principal structure. If multiple materials are used in a building façade, the visually heavier materials shall be located below the lighter materials, e.g. brick or stone shall be located below stucco or siding materials, unless they are used as architectural features.

*Accessory structures and ancillary equipment and carports.* Accessory structures shall reinforce the pedestrian character of the City. Above-ground utility and service features, accessory storage structures, and carports shall be located and designed to reduce their visual impact upon the streetscape. See use specific standards for accessory structures.

1. Detached accessory structures, such as garages and garage apartments, shall be consistent with the architectural style, materials, and color of the principal structure. For

multi-story accessory buildings, no portion of an exterior wall on any floor may contain a blank area greater than 16-feet in width except as allowed herein for garages.

(Code 1992, § 16.20.010.11; Ord. No. 876-G, § 2, 2-21-2008; Ord. No. 1029-G, § 15, 9-8-2011; Ord. No. 287-H, § 5, 7-20-2017; Ord. No. 375-H, § 4, 9-5-2019)

# Appendix D:

## Maps of Subject Property

Kenwood Section  
- Southwest Central Kenwood Local Historic District

5TH AVE N

DARTMOUTH AVE N

28TH ST N

27TH ST N

26TH ST N

4TH AVE N

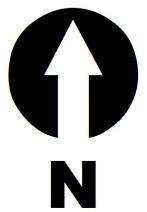
**Community Planning and Preservation Commission**

**2660 Dartmouth Ave N**

**AREA TO BE APPROVED,  
SHOWN IN**

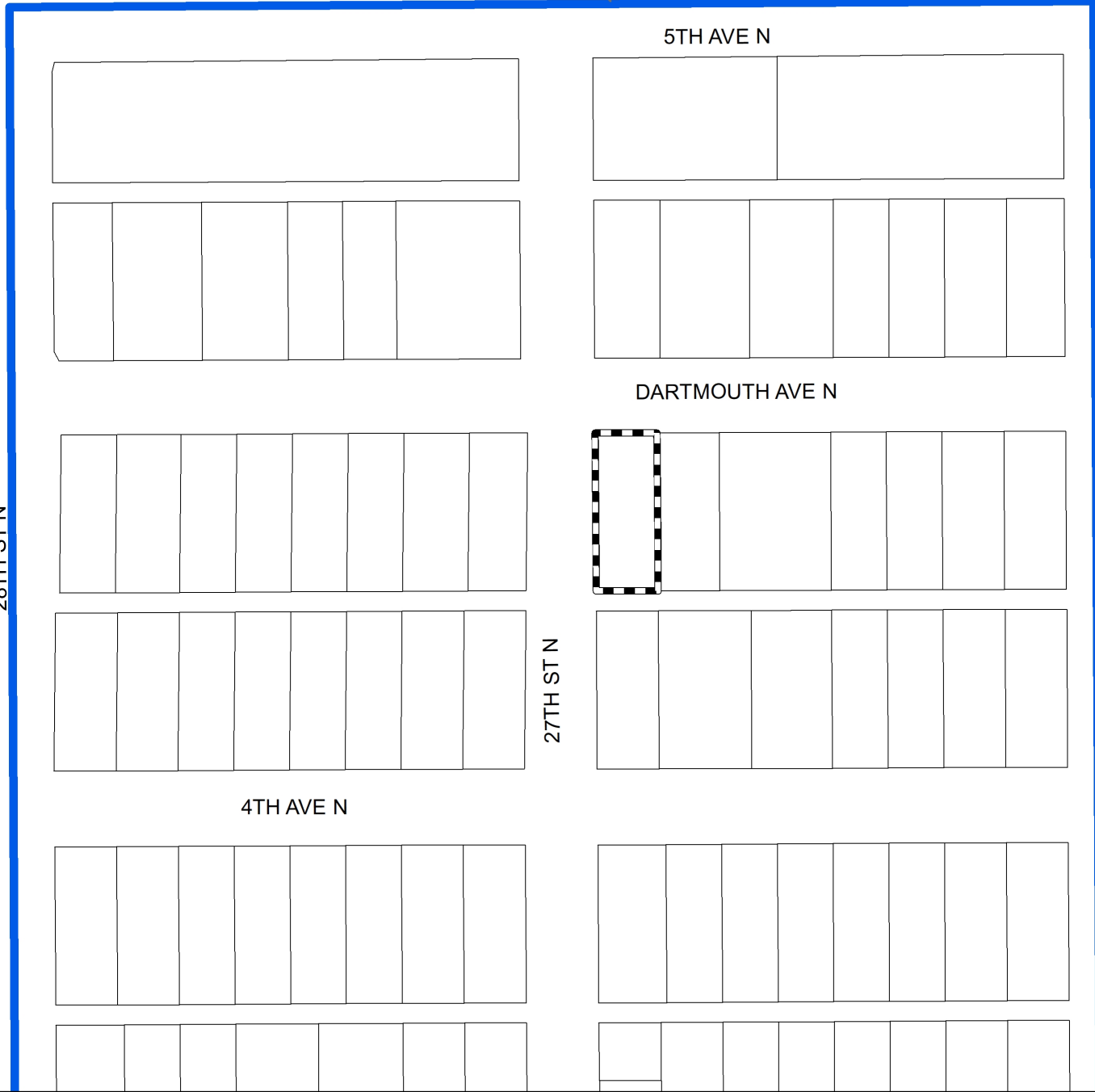


**CASE NUMBER  
21-90200101**



SCALE:  
1" = 140'

Kenwood Section  
– Southwest Central Kenwood Local Historic District



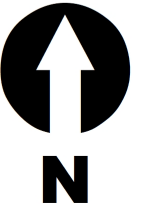
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